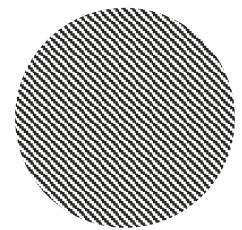




JACKSON  
PLANNING



# Planning Report

Dwelling and shed

12 Kingfisher Road,  
Gol Gol, NSW, 2738



# EXECUTIVE SUMMARY

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Proposal	Construction of a dwelling and shed
Street Address	12 Kingfisher Road, Gol Gol
Formal Land Description	Lot 1 in Deposited Plan 1300407
Zone	RU5 - Village
Relevant State Environmental Planning Policies	Nil

## SUBJECT SITE AND SURROUNDING AREA

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The subject site comprises one parcel of land commonly known as 12 Kingfisher Road, Gol Gol, and more formally as Lot 1 in Deposited Plan 1300407. The site is regular in shape and is relatively flat. It has an area of approx. 1126 square metres (sqm) and a frontage of approx. 53 metres (m) to Kingfisher Road. All reticulated services are available given the land is located within an existing urban setting. No heritage or cultural sensitivities affect the land and there are no natural hazards or environmental sensitivities including native vegetation.

The site is situated within a newly developed residential subdivision, within the township of Gol Gol. The surrounding area is residential in nature and typically contain dwellings on similar sized allotments. The Gol Gol Creek also adjoins the site towards the East.

An aerial image of the site and surrounding area as well as site photos are contained on the following pages.

## Aerial Image of the Site and Surrounding Area



Figure 1: Subject site and surrounding area (Source: Landchecker September 2024)

## Site Photos



Figure 2: View of site from Kingfisher Road





*Figure 3: Rear of the site (Gol Gol Creek adjoining the site towards the West)*

## PROPOSAL

# DESCRIPTION

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This application is for the construction of a dwelling and shed, as summarised under the following points:

- The dwelling is single storey and contains three bedrooms (master with WIR and ensuite), open plan kitchen, meals and family/dining area, butlers pantry, bathroom and separate WC, laundry, outdoor living area and double garage.
- The external appearance of the dwelling is finished with a variety of cladding types on the walls. The roof will be finished in a steel roof sheeting.
- The dwelling has a maximum height of 5.8m above natural ground.
- A 36m<sup>2</sup> outbuilding is also proposed at the rear of the site, having a total height of 3.53m.
- A new cross over will be utilised to provide access to the double garage.

## PLANNING

# CONTROLS AND ASSESSMENT

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### Wentworth Local Environmental Plan 2011 (LEP)

The Subject site is within the RU5 – Village

The objectives of the zone are:

- *To provide for a range of land uses, services and facilities that are associated with a rural village.*
- *To promote development in existing towns and villages in a manner that is compatible with their urban function.*
- *To encourage well-serviced sustainable development.*
- *To ensure there are opportunities for economic development.*
- *To deliver new residential and employment growth in Buronga and Gol Gol.*
- *To ensure business and retail land uses are grouped within and around existing activity centres.*

The proposed dwelling is located within a recently subdivided estate and will support the development of Gol Gol. The dwelling has been designed to meet sustainability targets and is appropriately located so as not to unreasonably impact on the adjoining land. As such, the proposal supports the objectives of the RU5 zone.

### Clause 7.5 Wetlands

*The objective of this clause is to ensure that natural wetlands are preserved and protected from the impacts of development.*

*When assessing a development application for development on land to which this clause applies, the consent authority must consider potential adverse impacts from the proposed development on—*

- *the growth and survival of native flora and fauna,*
- *the condition and significance of the native flora on the land and whether it should be substantially retained, and*
- *the provision and quality of habitats for indigenous and migratory species, and*

- *the surface and groundwater characteristics of the site, including water quality, natural water flows and salinity, and*
- *any wetland in the vicinity of the proposed development and any proposed measures to minimise or mitigate those impacts.*

*Before granting consent to development to which this clause applies the consent authority must be satisfied that—*

- *the development is sited, designed and managed to avoid potential adverse environmental impacts, or*
- *where an impact cannot be avoided, and having taken into consideration feasible alternatives, the proposed design, construction and operational management of the development will mitigate and minimise those impacts.*

### Discussion

Given the distance from the Gol Gol Creek it is considered that the proposed development is not considered to have any impact on wetland health or function.

## **Wentworth Development Control Plan**

### **Chapter 4 – Residential Development Controls**

#### **4.1.1 Site Context and Analysis**

The plans submitted with this application demonstrate how the proposed development responds to site specific conditions and the site has been described in detail previously in this report. The site does not have any specific constraints and the topography is relatively flat.

#### **4.1.2 Streetscapes**

The proposed building will have a positive impact on the streetscape. The main bedroom overlooks the street to provide for casual surveillance. The proposed garage has been incorporated into the design of the frontage effectively. The building has a clearly identified entry from the street and has been designed to be energy efficient. The external materials and colours of the building will complement modern dwellings in the broader area which have external materials and colours that vary considerably.



#### **4.1.3 Front Setback**

The building has a front setback of approximately 4.5m. While this setback is 1.5 metres forward of the requirement; it is considered acceptable in this circumstance due to lot depth and easements found at the rear.

#### **4.1.4 Side setbacks and Corner Lot Setbacks**

The side setbacks of the proposed building from the western boundary is 1m (from shed) and 3m from the eastern boundary, thus meeting the control.

#### **4.1.5 Rear setbacks**

The proposed dwelling is 3.8m from the rear boundary and the shed is located 3m, thus meeting this control.

#### **4.1.6. Walls on Boundaries**

Not applicable.

#### **4.1.7 Building heights and overshadowing**

While not required for a single-story dwelling, overshadowing diagrams have been provided which demonstrates that no significant detrimental impacts on adjoining private open spaces.

#### **4.1.8 Site Coverage**

The site coverage (including existing development) is approximately 31.6%, thus meeting this control.

#### **4.1.9 Private Open Space**

Sufficient private open space has been provided at the rear of the dwelling.

#### **4.1.10 Energy Efficiency and Solar access**

Appropriate solar access and energy efficiency is achieved given the orientation of the site. An Energy Efficiency Compliance Assessment is included with this application to demonstrate that the relevant energy efficiency requirements are met. A BASIX has been supplied with the application.

#### **4.1.11 Daylight to existing windows**

Not applicable for this application.

#### **4.1.12 North-facing windows**

Not applicable – there are no existing north facing windows within 3m of the boundary.

#### **4.1.13 Overlooking**

Not applicable for this application.

#### **4.1.14 Fencing and Retaining Walls**

No front fences or retaining walls are proposed as part of this application.

#### **4.1.15 Car Parking and Vehicle Access**

Sufficient car parking has been provided for the dwelling.

#### **4.1.16 Cut and Fill**

As the site is relatively flat, only minimal earthworks are anticipated for this site.

### **State Environmental Planning Polices (SEPP)**

There are no state policies application for this application.

## **General Assessment**

### **Visual Impacts**

Please refer to DCP assessment.

### **Open Space**

Please refer to DCP assessment.

### **Overshadowing and Privacy**

Please refer to DCP assessment.

### **Noise**

Only standard domestic mechanical plant will be associated with the proposed building, which will emit noise typical for a residential area.

### **Erosion Control Measures**

No specific erosion control measures are considered necessary for this development. Any minor earthworks will be appropriately battered and retained (if necessary).

### **Economic and Social Impacts**

Albeit minor, the proposed dwelling will contribute to the economic and social wellbeing of the Gol Gol township by increasing investment in the local area and social interaction with the local community.

### **Environmental Benefits**

Due to the nature of this development, no significant environmental benefits are envisaged.

### **Disabled Access**

Not applicable for this application. The proposed dwelling will be required to comply with the applicable National Construction Code requirements for disabled access.

### **Security, Site Facilities and Safety**

Not applicable for this application.

### **Waste Management**

Standard domestic waste services will be provided by Council.

### **National Construction Code**

The National Construction Code will be assessed as part of the Construction Certificate process by a Building Surveyor.

### **Traffic**

The proposed building will result in standard domestic travel within the existing road network. This would have been anticipated and accounted for in the design of the subdivision.

### **Stormwater/flooding**

The site is not subject to any identified natural hazards and stormwater will be directed to the legal point of discharge.



## CONCLUSION

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This report demonstrates that the proposal is consistent with the relevant provisions of the *Wentworth Local Environmental Plan 2011* and the Wentworth DCP.

The proposed development is appropriate for the site as it:

- Supports the objectives of the Zone RU5 - Village;
- Is appropriately located on the subject site;
- Will have an acceptable impact on the locality in terms of amenity and visual dominance; and
- Will not result in any detrimental impacts on the environment.

It is considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the construction of a dwelling and shed as described in this report at 12 Kingfisher Road, Gol Gol.

Rescode Info	
4-10 Building Height	5800
4-11 Site Coverage	Max. 80%
Block Size	1260m <sup>2</sup>
Actual Site Coverage	20.6%
4-12 Permeability	Min. 20%
House Area	259.61m <sup>2</sup>
Alfresco/Porch/Pergola/Carp.	104.18m <sup>2</sup>
Driveway & Paths	93.10m <sup>2</sup>
Total Impermeable Area	456.89m <sup>2</sup>
Actual Size	36.3%
Garden Area	63.7%

Energy Efficiency Requirements-  
R6.0 to the ceiling  
Double glazing to all  
All downlights to be capable of being insulated over

BASIX COMMITMENTS	
Development Application and Construction Certificate Specification	
WATER COMMITMENTS	
LANDSCAPE	
Maximum total area of garden and lawn	300m <sup>2</sup>
Total area of indigenous or low water use species	150m <sup>2</sup>
FIXTURES	
Shower head	4 star minimum flow rate <= 6.0L/min
Toilet	4 star
Kitchen taps	4 star
Basin taps	4 star
THERMAL COMFORT COMMITMENTS	
Simulation method - See thermal performance specification	
ENERGY COMMITMENTS	
Hot water	
Heat pump	<15 STC's
Cooling system	
1 phase air conditioning to living areas	5 stars
1 phase air conditioning to bedrooms	5 stars
Heating system	
1 phase air conditioning to living areas	5 stars
1 phase air conditioning to bedrooms	5 stars
Ventilation	
Exhaust fan(s) to bathroom(s) with manual on/off switch	ducted to façade/roof
Exhaust fan(s) to kitchen with manual on/off switch	ducted to façade/roof
Exhaust fan(s) to Laundry with manual on/off switch	na
ARTIFICIAL LIGHTING	
As per electrical plan - dedicated LED fittings throughout	
NATURAL LIGHTING	
As per floor plan and elevations	
OTHER	
Electric oven / Electric cooking / Outdoor gas line	

Soil Classification: "P"

## Proposed Site Layout Plan 1:200

### Note:

Stormwater to be connected to legal point of discharge to local authority approval

Sewerage to be connected to property connection point to local authority approval



**Certificate No. # BDDZ98X451**

Scan QR code or follow website link for rating details.

Assessor name: Hayly Nagy  
Accreditation No.: DMN/12/1465  
Property Address: 12 Kingfisher Dve, Gol Gol, NSW, 2738

<https://www.fr5.com.au/QRCodeLanding?PublId=BDDZ98X451>

THIS IS SHEET ___ OF ___
DRAWINGS REFERRED TO IN THE CONTRACT
DATED: _____
BUILDER: _____
PROPRIETOR: _____

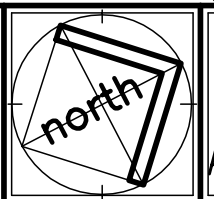
Amendments	Date
Preliminary Drawings	14/1/25
Working Drawings	20/2/25
Altered Drawings	*
Craig Wight - Registered Building Practitioner - DP AD 36750	

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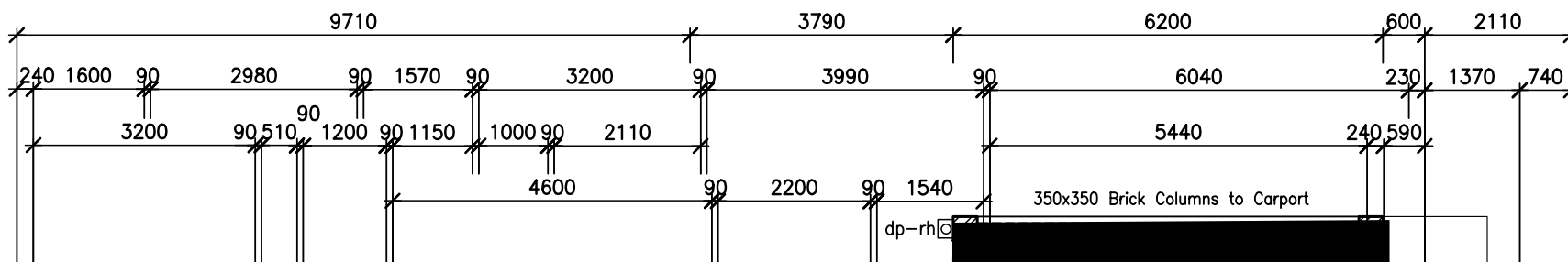
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54 Lime Avenue, Mildura Vic. 3500  
Office: (03) 5023 1199 Fax: (03) 5023 6099  
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**D & J McKendrick**  
Proposed Residence  
At: Lot 1-No. 12 Kingfisher Drive, Gol Gol

DRAWN: C.A.W	DWG. No. 250102
CHECKED: C.A.W	
SCALE: As Shown	SHEET: 1 of 11
DATE: 20th Feb. 2025	



**Note:**

WATERPROOFING TO BE CARRIED OUT IN ACCORDANCE WITH AS 3740-2010 "WATERPROOFING OF DOMESTIC WET AREAS" (SHOWER FALL TO BE BETWEEN 1:60-1:80 AS REQUIRED)

SMOKE ALARMS TO BE PROVIDED IN ACCORDANCE WITH AS 3786 (MUST BE INTERCONNECTED WHERE MORE THAN ONE ALARM)

450mm BOXED OUT EAVE OVERHANG GENERALLY (750mm BOXED OUT EAVE OVERHANG TO FRONT)

**Note:**

R2.0 INSULATION BATTS TO LAUNDRY, BATHROOM POWDER AND GARAGE INTERNAL WALLS

**Note:**

BATH TO BE CHECKED INTO WALL AS MARKED

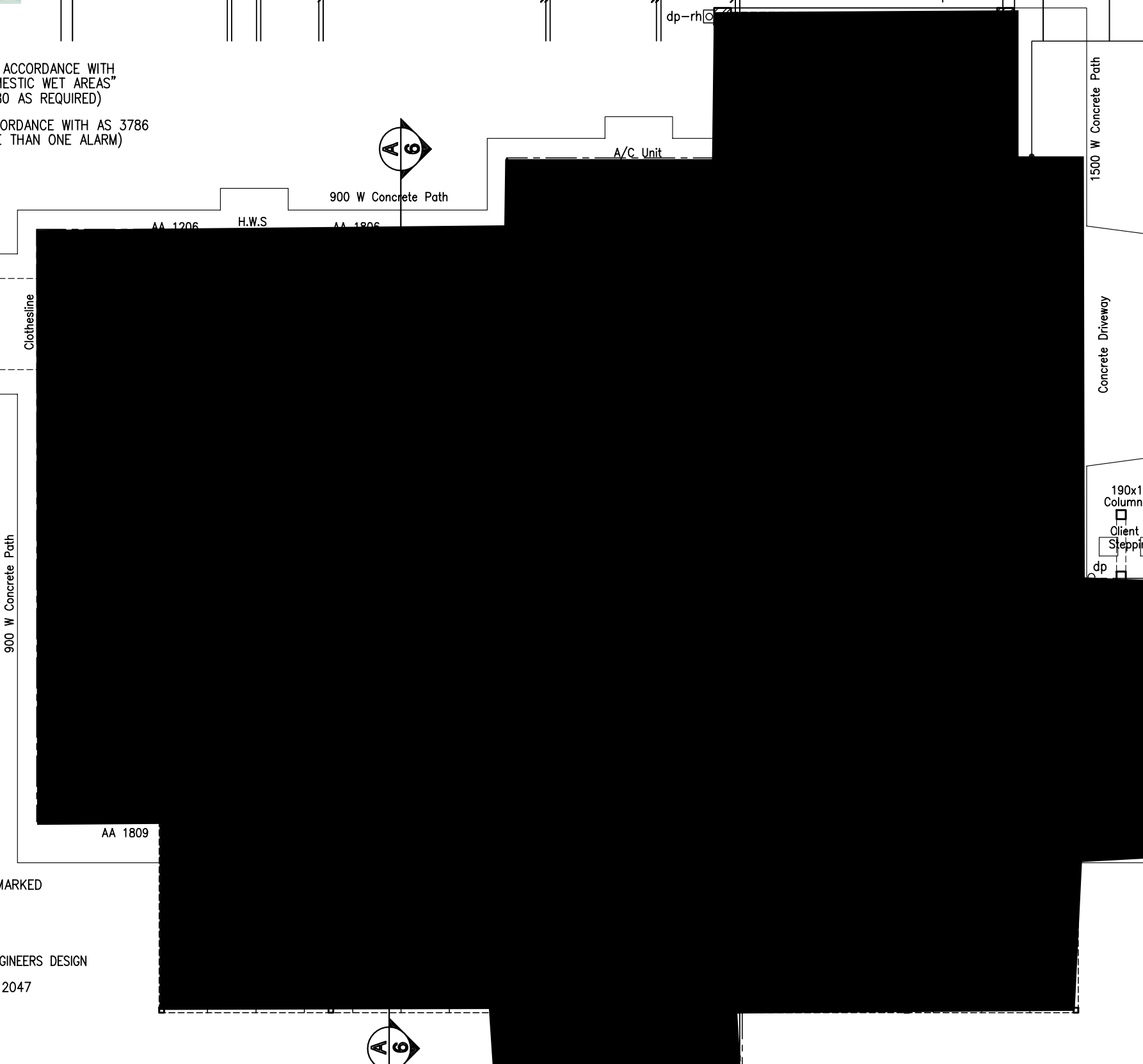
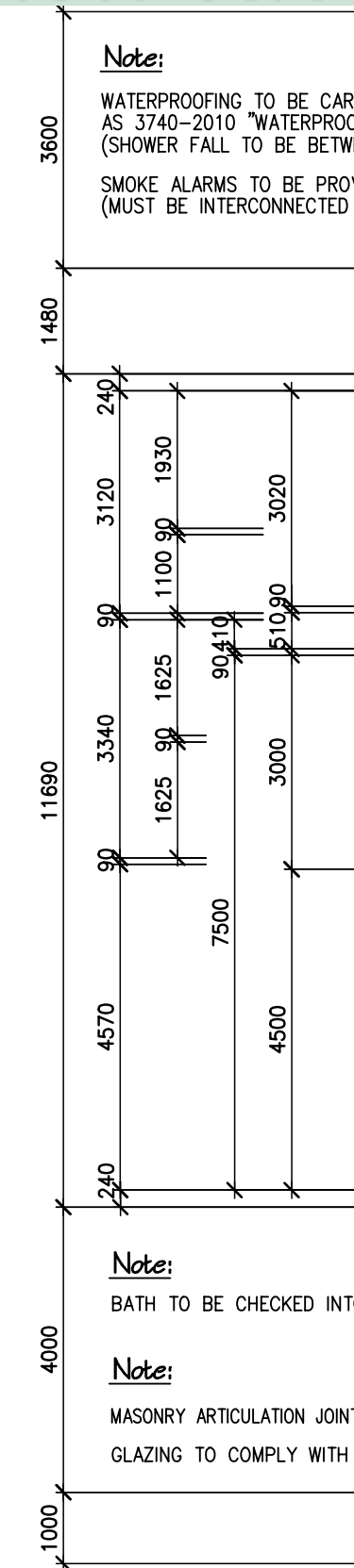
**Note:**

MASONRY ARTICULATION JOINTS AS PER ENGINEERS DESIGN  
 GLAZING TO COMPLY WITH AS 1288 & 2047

**Area Calculation**

Residence:	217.79 Sqm (23.44 Sq's)
Garage:	41.15 Sqm (4.43 Sq's)
Porch:	0.86 Sqm (0.09 Sq's)
Alfresco:	25.00 Sqm (2.69 Sq's)
Pergolas:	56.00 Sqm (6.03 Sq's)
Carport:	22.32 Sqm (2.40 Sq's)
<b>Total:</b>	<b>363.12 Sqm (39.09 Sq's)</b>

**Floor Plan 1:100**

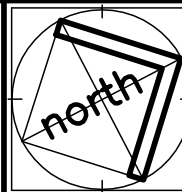


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 BUILDER: \_\_\_\_\_  
 PROPRIETOR: \_\_\_\_\_

Amendments	Date
Preliminary Drawings	14/1/25
Working Drawings	20/2/25
Altered Drawings	*
Craig Wight - Registered Building Practitioner - DP AD 36750	

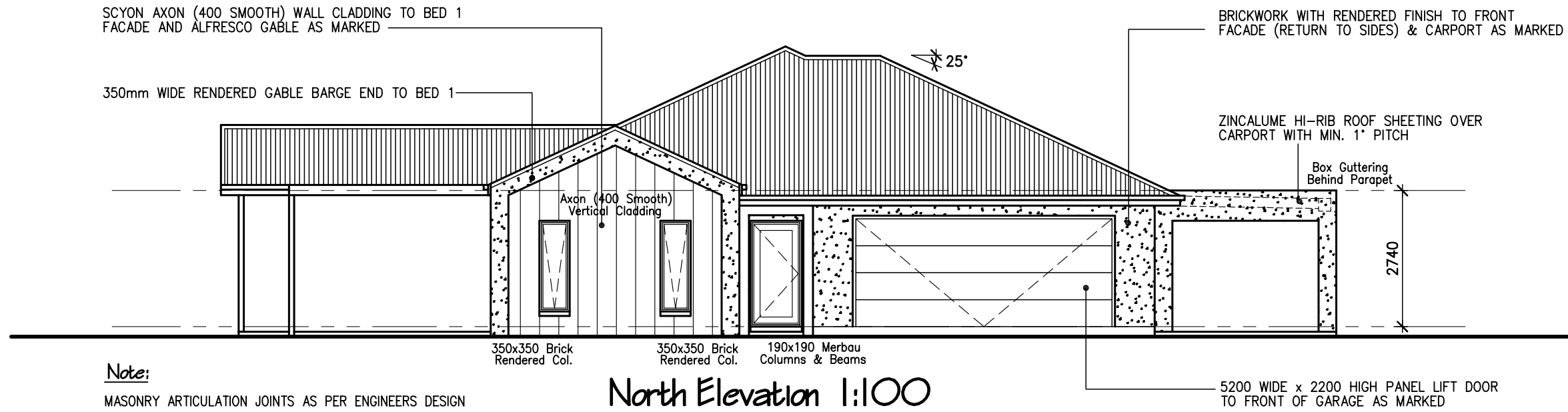
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**D & J McKendrick**  
**Proposed Residence**  
 At: Lot 1-No. 12 Kingfisher Drive, Gol Gol


DRAWN: C.A.W	DWG. No. 250102
CHECKED: C.A.W	
SCALE: As Shown	SHEET: 2 of 11
DATE: 20th Feb. 2025	



**Certificate No. # BDDZ98X45I**

Scan QR code or follow website link for rating details.

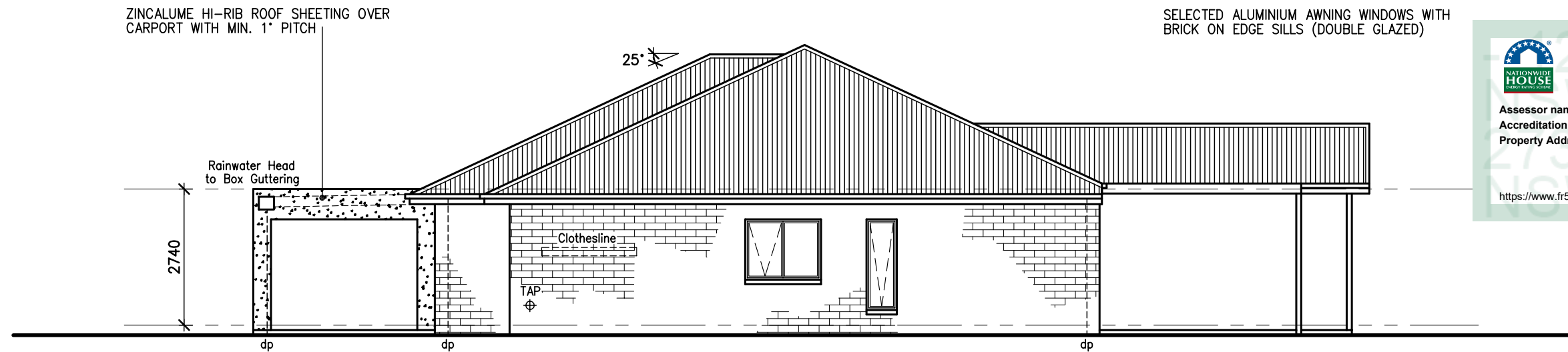
Assessor name Hayly Nagy  
Accreditation No. DMN/12/1465  
Property Address 12 Kingfisher Dve,  
Gol Gol, NSW, 2738



<https://www.fr5.com.au/QRCodeLanding?PublicId=BDDZ98X45I>

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	Preliminary Drawings	14/1/25					CHECKED: C.A.W	250102
	Working Drawings	20/2/25					SCALE: As Shown	SHEET:
	Altered Drawings	*					DATE: 20th Feb, 2025	4 of 11
	Craig Wight - Registered Building Practitioner - DP AD 36750							





**Note:**

MASONRY ARTICULATION JOINTS AS PER ENGINEERS DESIGN

South Elevation 1:100

SELECTED ALUMINIUM AWNING WINDOWS WITH BRICK ON EDGE SILLS (DOUBLE GLAZED)

**Certificate No. # BDDZ98X45I**

Scan QR code or follow website link for rating details.

Assessor name Hayly Nagy  
 Accreditation No. DMN/12/1465  
 Property Address 12 Kingfisher Dve, Gol Gol, NSW, 2738

<https://www.fr5.com.au/QRCodeLanding?PublicId=BDDZ98X45I>



West Elevation 1:100

SELECTED FACE BRICKWORK (GENERALLY)

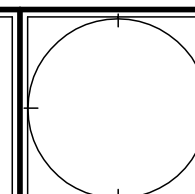
SELECTED COLORBOND FASCIA & GUTTERING

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 PROPRIETOR: \_\_\_\_\_

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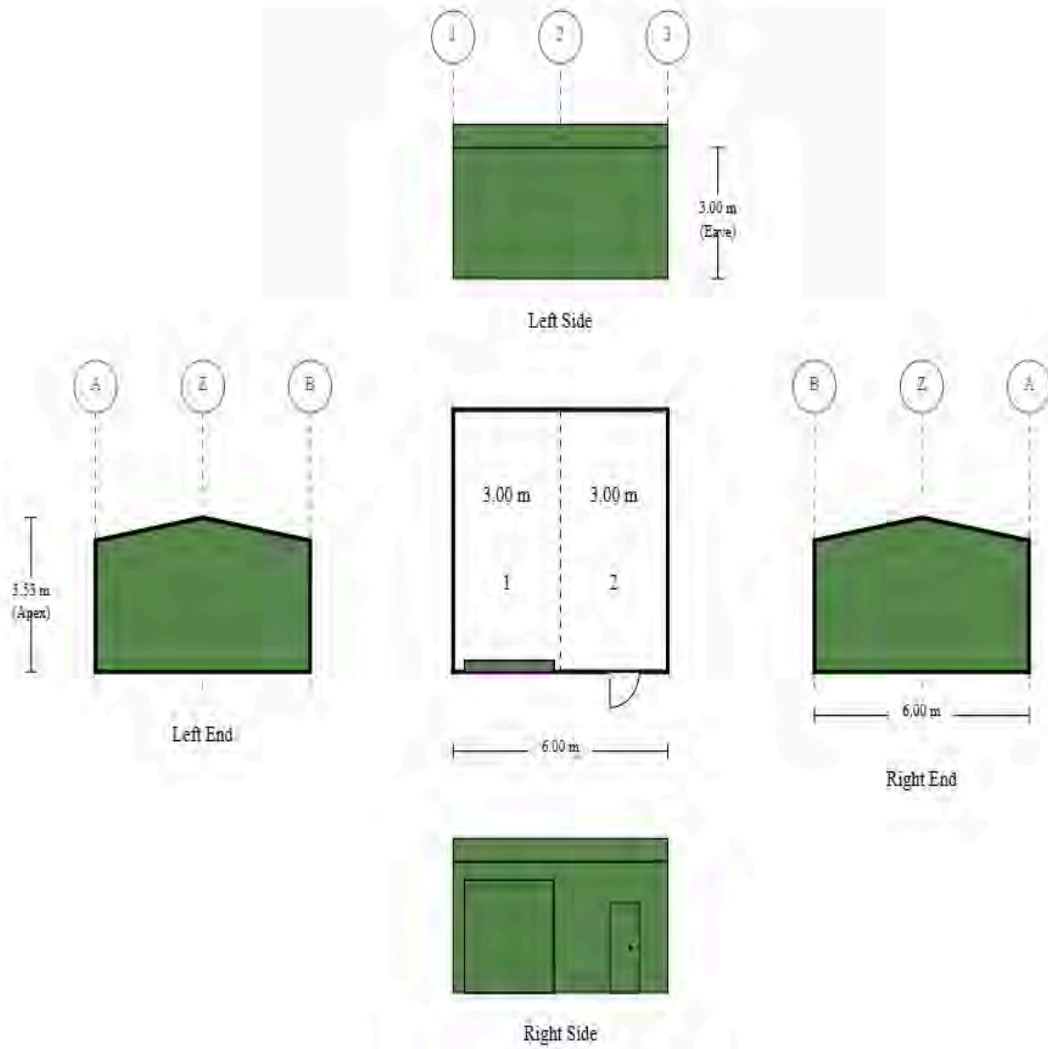
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**D & J McKendrick**  
**Proposed Residence**  
 At: Lot 1-No. 12 Kingfisher Drive, Gol Gol

DRAWN: C.A.W	DWG. No. 250102
CHECKED: C.A.W	
SCALE: As Shown	SHEET: 5 of 11
DATE: 20th Feb. 2025	



Purchaser Name: Jenny & David McKendrick	
Site Address:	
Ref # BRMIL2503022	Print Date: 18/03/25

<h3>Building Layout</h3> <p>Ref# BRMIL2503022</p>	Seller: THE Shed Company Mildura Name: Ben Rogers Phone: (03) 5021 0226 Fax: (03) 5021 0228 Email: ben.rogers@theshedcompany.com.au
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