



STATEMENT OF ENVIRONMENTAL EFFECTS

PROPOSED DEVELOPMENT – BOUNDARY REALIGNMENT

***ADDRESS – 205 ACACIA ROAD CURLWAA 2648 & 107 SYNDICATE ROAD
CURLWAA 2648***

PREPARED BY – CADELL CONSULTING SERVICES

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1. Introduction

This Statement of Environmental Effects report relates to a proposed 'not in common ownership' boundary realignment between Lot 1 DP1112195 and Lot 2 DP1112195, located on Acacia Road and Syndicate Road in Curlwaa.

The objectives of the boundary realignment are to:

- Provide Lot 1 with additional land for the storage of plant and equipment
- Reduce the size of Lot 2 to allow for transition to retirement for the benefit of the owner

This application seeks Development Consent from Wentworth Shire Council, in accordance with *Part 4 Development assessment and consent* of the *Environmental Planning and Assessment Act 1979*.

2. Subject Site and Surrounding Area

2.1 Subject Sites

Address	107 Syndicate Road and 205 Acacia Road Curlwaa
Lot & DP	Lots 1 & 2 DP1112195
Land size	Lot 1 – 6,626m ² Lot 2 – 9.3ha
Zone & MLS	RU4 Primary Production Small Lots

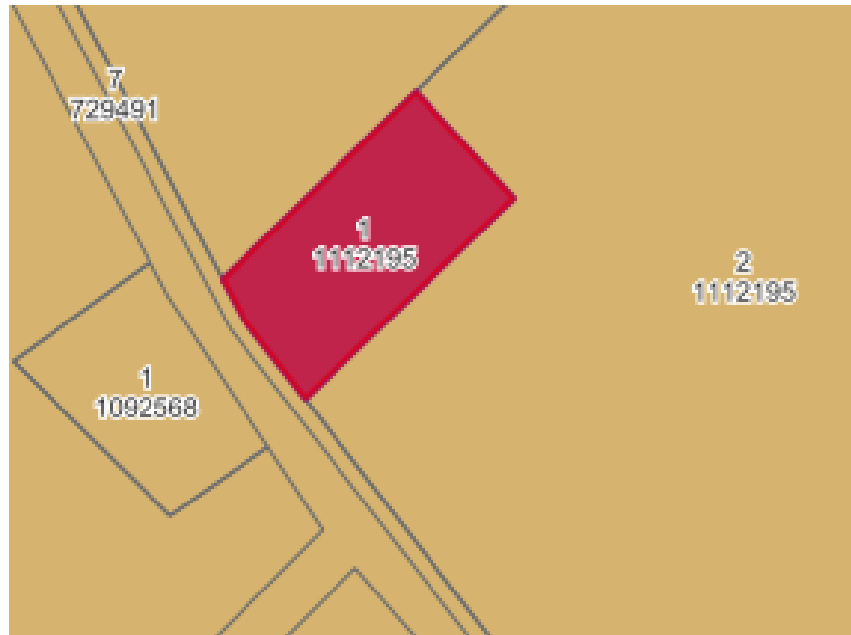


Figure 1 Land Zoning Lot 1



Figure 2 Land Zoning Lot 2

Minimum Lot Size 10 hectares

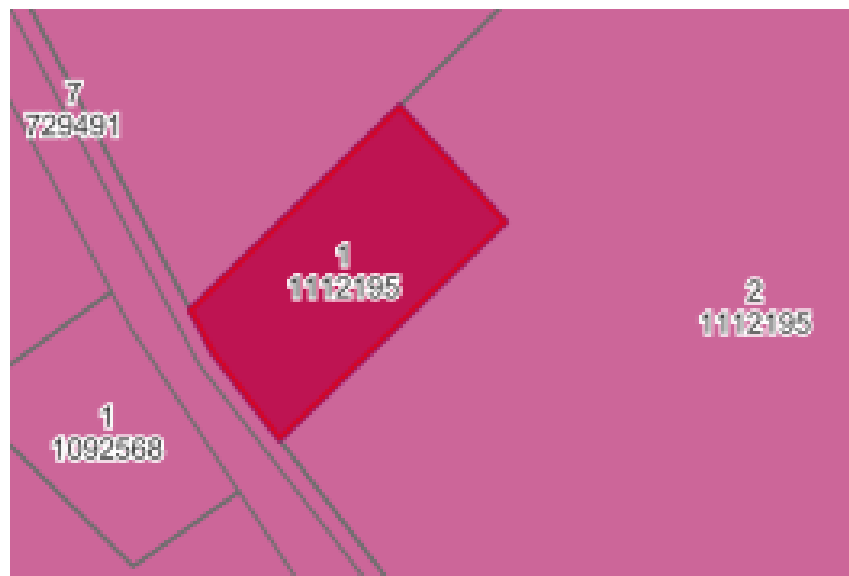


Figure 3 Minimum lot size Lot 1

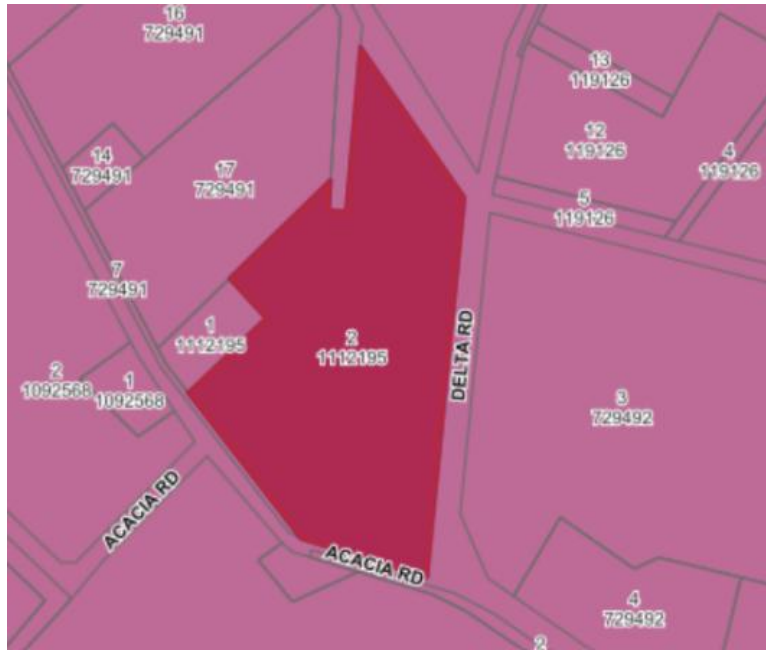


Figure 4 Minimum lot size Lot 2

<i>Site description</i>	<p>The overall site is irregular in shape and flat.</p> <p>A drainage easement forms part of the boundary between the two allotments. This easement dissects a portion of the Lot 2. The easement is applied over an open drain.</p> <p>Lot 1 contains a dwelling and shed and access is from Syndicate Road, being the south western boundary.</p> <p>Lot 2 contains a dwelling and multiple sheds. Acacia Road form the southern boundary and provides access to the property. Delta road encompasses the eastern and northern boundaries. There is a tree plantation on site.</p>
<i>Current use</i>	Horticulture and rural living
<i>Proposed use</i>	Unchanged from current use
<i>Natural hazards</i>	Nil

2.2 Use & Development in Surrounding Area

The surrounding area contains a blend of horticulture and rural residential allotments of varying sizes.

As it can be seen in the Figure 5 below, there are multiple, large horticultural allotments adjacent to the subject site.

There are numerous rural residential parcels scattered throughout the area.

There is also a recreation reserve located to the north east of the subject site.



Figure 5 Surrounding land uses and development

3. Proposed Development

<i>Proposed development</i>	Boundary realignment between both allotments described above. Proposed Lot 1 will contain 1.285 hectares Proposed Lot 2 will contain 8.638 hectares
<i>Intended use</i>	Both allotments will continue to be used for rural residential and horticultural purposes
<i>Staging of development</i>	The proposed development will be completed in one stage
<i>Other works</i>	There are no other works required to be conducted
<i>Additional information</i>	The proposed boundary realignment will not create a lot that may be subdivided under Clause 4.1 of the WLEP 2011



Figure 6 Proposed boundary realignment

4. Relevant Planning Controls

4.1 Wentworth Local Environmental Plan 2011

Permissibility of development in the zone RU4 Primary Production Small Lots

The current use of the subject sites for horticulture is permitted without consent within the zone. A boundary realignment between the two allotments is permitted with consent within the zone.

Consistency with zone objectives of RU4 Primary Production Small Lots

The proposed development is considered consistent with the objectives of the RU4 zone, for the following reasons:

- It will not prevent both lots being used for horticulture
- It will facilitate one lot to expand its horticultural enterprise, enabling the other to downsize, whilst they will both continue to be used for horticulture with ancillary dwellings
- The horticultural footprint or area will not be reduced as a result of the boundary realignment
- It will not alter the use of the subject sites, and therefore, will not create land use conflict

Applicable Principal development standards

Clause 4.2D Boundary adjustments in Zones RU1, RU4 and C3

The objective of this clause is to facilitate boundary realignments where one or more of the resulting lots do not satisfy the minimum lot size, but satisfy the objectives of the zone.

The proposed boundary realignment satisfies the objectives of the zone. Refer to the above statements relating to consistency with the objectives of the zone.

The proposed boundary realignment will not create additional lots, nor will it create opportunities for additional dwellings.

The number of dwellings or dwelling entitlements will remain the same, as prior to the realignment.

The proposed boundary realignment will not create potential land use conflict, as the use of the lots will remain the same, as prior to the realignment.

The proposed boundary realignment will not have an adverse or detrimental impact on the viability of the land, as the current areas used for horticulture will remain under crop.

The proposal will not create a bushfire risk to the existing buildings on the subject lots.

The proposed boundary realignment will not create a lot that may be subdivided under Clause 4.1 of the Wentworth LEP 2011.

Applicable Miscellaneous provisions

Nil

Applicable Additional local provisions

Nil

5. Assessment

Context Analysis

Will the development be:

- *Visually prominent in the surrounding area?*
- *Inconsistent with the existing streetscape?*
- *Out of character with the surrounding area?*
- *Inconsistent with surrounding land uses?*

Response

The proposed development will not alter the visual aspect of the properties or the surrounding area, as the allotments will remain being utilised for horticulture and current uses.

As such, the proposed boundary realignment and ongoing use of the lots will remain consistent with the surrounding area.

Privacy, view and overshadowing

Will the development result in:

- *Privacy issues?*
- *Overshadowing of adjoining properties?*
- *Acoustic issues from excessive noise?*
- *Impacts on views?*

Response

There will be no amenity impacts to surrounding properties and land.

Access & Traffic

Will the development:

- *Have legal and practical, or require new access?*
- *Increase local vehicle movements?*
- *Require onsite vehicular manoeuvring and onsite parking?*
- *Require offsite parking?*

Response

There will be no requirement for new access or offsite parking for both allotments.

Infrastructure & Utilities

Will the development require:

- *Power?*
- *Water?*
- *Sewer?*
- *Stormwater?*
- *Telecommunication?*

Response

The proposed development will not require any additional connection to services.

Environmental impacts

Will the development likely result in:

- *Air pollution?*
- *Water pollution?*
- *Noise impacts?*
- *Necessary excavation or filling?*

- *Erosion or sediment run-off?*
- *Soil contamination?*
- *Environmentally sustainable development, is a BASIX certificate require?*
- *Negative impacts on heritage items or items of cultural significance?*
- *Disturbance of aboriginal artefacts or relics?*

Response

The proposed boundary realignment will not result in any negative environmental impacts.

Biodiversity impacts

Will the development result in:

- *The removal of any native vegetation on the site?*
- *Any impact on threatened species or native habitat?*

Response

There will be no removal or impact on native vegetation or native habitats.

Waste & Stormwater disposal

- *How will effluent be managed? Sewer or onsite?*
- *How will stormwater be disposed? Drainage system or other?*
- *Will liquid trade waste be discharged to Council's sewer?*
- *Will the development result in hazardous waste or disposal issues?*
- *Have all stormwater risks been considered?*
- *Will the development include rainwater tanks?*

Response

The proposed development will not require any additional waste or stormwater services.

Social and Economic impacts

Will the development result in:

- *Any economic impacts?*
- *Any social impacts?*
- *Any issues relating to safety, security or crime?*

Response

The outcome of the proposed boundary realignment will provide personal lifestyle and economic benefit to both the landowners involved.

There are no known social impacts or issues relating to safety, security or crime.

6. *Conclusion*

It is concluded that the application for a 'not in common ownership' boundary realignment, as outlined in this Statement of Environmental Effects report and the attached documentation, should be worthy and satisfactory to be granted development consent by Wentworth Shire Council.

This conclusion is made on the basis that the proposed subdivision will:

- Not be out of character or inconsistent with the surrounding predominant land uses and development
- Not have a negative impact on the surrounding land uses or the natural environment
- Not reduce the horticultural capacity or footprint of the subject allotments
- Support the required operational changes as required by the both landowners.

This Statement of Environmental Effects report supports this application and outlines the suitability of the subject sites in relation to the proposed boundary realignment.



SCHEDULE OF LOTS

EXISTING LOTS
LOT 1 DP1112195 - 0.617 ha
LOT 2 DP1112195 - 9.307 ha

PROPOSED LOTS
LOT 1 - 1.285 ha
LOT 2 - 8.638 ha

NOTES:
1. PLAN IS SUBJECT TO FINAL SURVEY AND DIMENSIONS
MAY BE APPROXIMATE
2. AERIAL IMAGERY HAS BEEN USED TO AID DRAFTING
OF THIS PLAN



MGA
NORTH

107 SYNDICATE RD & 205 ACACIA RD, CURLWAA
PROPOSED BOUNDARY RE-ALIGNMENT
LOTS 1 & 2 DP1112195

JOB DETAILS
DRAWN : A.MCKENZIE
DATE : 05/03/2025
SHEET No. 1 OF 1
Version 1
REFERENCE No. 252983

SCALE OF METRES
20 0 40 80
ORIGINAL DRAWING SCALE
1 IN 2000 (A3 SHEET SIZE)



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County --
Township --
Parish --
Section --
Crown Allot. : --